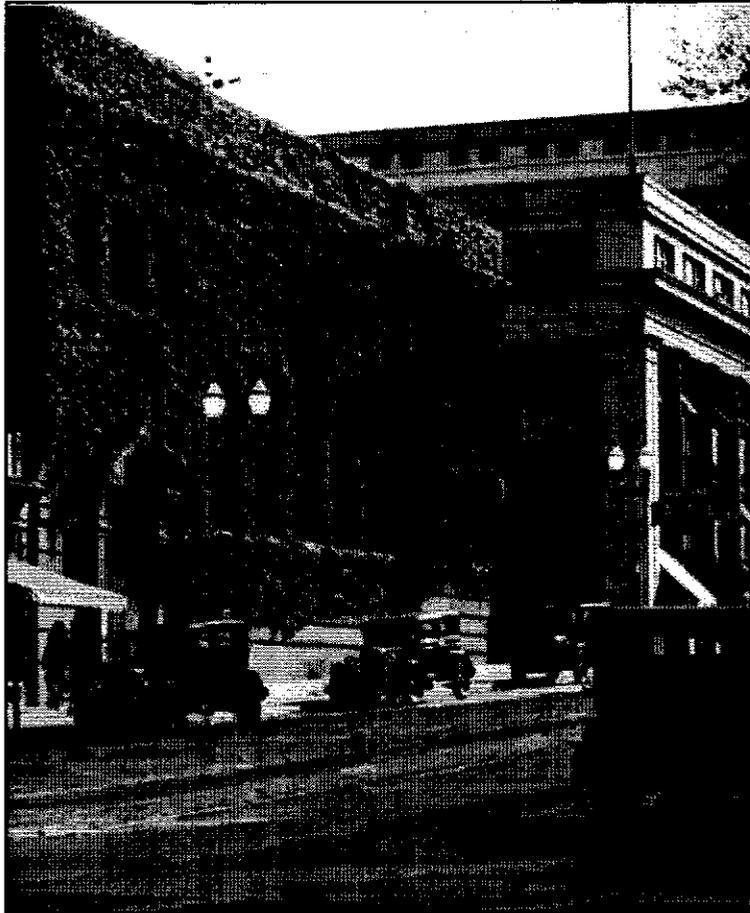


City of Marysville

**Chapter 18.60 of the Marysville Municipal Code
and
Off-Street Parking Development Standard**



**Parking Standards Authorized By:
Enabling Code: Section 18.60.60 of the Marysville Municipal Code
Adopted by City Council: Resolution No. 2005-82, November 1, 2005**

The attachments are in draft form and have not been codified. These are sections of the Zoning Ordinance which are part of the City's overall Municipal Code. Other development standards and provisions may apply to your particular interests. Please contact the Marysville Planning Department for any clarifications to these Code sections and for further information on the overall Municipal Code.

**City of Marysville
Off Street Parking Development Standards**

CHAPTER 1. OVERVIEW:

a. General

Improvements on private properties for off-street parking, including parking lot access driveways, driveway ramps, parking stalls and aisles, including pavement, drainage, landscaping, screen fencing and private roads, erosion control and exterior lighting shall conform to these standards and all requirements of the City of Marysville Municipal Code. These standards apply to new projects and changes or modifications to existing improvements. These standards do not apply to public street improvements, however, they do include certain encroachments into the public right-of-way. These standards also don't apply to single family or duplex residential development.

b. Exceptions to Standards

The standards presented in this document are minimum city requirements. Unless otherwise specified, or otherwise required by the Zoning Ordinance, the City Services Director may allow variations to these standards due to physical constraints to the property such as topography, lot configuration or design limitations, provided that public safety and convenience concerns have been met.

CHAPTER 2. PARKING LOT STANDARDS:

a. Private Parking Lot Permits

For private parking lots having six or more parking spaces which are not a part of a larger project, the builder shall obtain a building and/or grading permit from the City prior to constructing or modifying an existing parking lot.

b. Plans

Plans for the parking lot shall conform to these city standards and shall show design for grading, paving, striping, signing, curbing, lighting, landscaping and trash/recycling enclosures.

c. Pavement

Parking lots and driveways within and to parking lots shall be paved with not less than 2 inches of asphaltic concrete or 3-1/2 inches Portland cement concrete over 6" Class II aggregate base. Base material shall be compacted to a minimum of 90 percent. Compaction test reports shall be submitted to the Building Department for verification of proper compaction. All motorcycle spaces within parking lots shall be concrete pads.

d. Maneuvering

Parking lots shall be designed so that automobiles will exit onto a public street in a forward direction and exit any parking space with no more than two maneuvers. A maneuver is defined as each motion in either a forward or backward direction. Unless approved by the City Services Director, no space may be allowed that requires a vehicle to be maneuvered on the public sidewalk in order to exit. All spaces must be designed to be entered in one maneuver.

e. Geometrics

1. Parking Dimensions and Driveways:

The minimum dimensions for off-street parking are illustrated on City Standard details #105 and #601.

2. Compact Parking:

Up to 40% of the parking spaces may be compact. Compact parking spaces should be dispersed throughout the parking lot and not clustered in any particular location. These spaces shall be at least seven feet in width and fourteen feet in length.

3. Slope:

Parking spaces shall slope no more than 7% in any direction and no less than 0.5% in the direction of drainage. A maximum of 12% slope in aisle and turn-around areas may be allowed. Swales of less than 1% slope shall be concrete.

4. Spaces Which Back Onto Street:

Parking spaces shall not back directly onto the public street except as

specifically approved by the City Services Director. Such spaces shall be set back a minimum of five feet from the property line.

f. Drain of Surface Waters

Parking and driveway facilities shall be prepared, graded and paved in such a manner that all surface waters will drain into a street gutter or storm drainage facility. No more than 700 square feet of paved area may sheet drain across a driveway. Drainage across a public sidewalk is prohibited.

g. Parking for Disabled

All parking spaces reserved for the disabled shall be constructed and signed in accordance with applicable state and federal laws.

h. Motorcycle and Bicycle Parking Standards:

Motorcycle and bicycle parking may be provided in addition to other off-street parking. All motorcycle spaces shall have a minimum dimension of eight feet in depth and five feet in width on a cement slab. All bicycle racks may include security lockers to the approval of the City Planner.

i. Covered Parking Height:

Except for residential uses, public accessible parking shall have a vertical clearance of at least 7-feet 6-inches above the parking lot surface.

j. Wheel Stops:

Wheel stops or curbing are required if the space is headed into a wall, fence, landscaped area, building or side of another auto. Wheel stops shall be constructed of concrete or other durable material not less than 6 inches in height, and securely installed.

k. Truck Access:

Parking lots for commercial and industrial uses shall be designed to provide adequate access and circulation movement for trucks, including delivery vehicles. This may require wider driveways and aisles than the minimum width specified in these standards..

l. Signing

Except for R-1 zoned and R-2 zoned property, entrances and exits that are one-way shall be marked with an appropriate sign and pavement marking. Disabled and compact car spaces shall be signed with pavement marking or markings on wheel stops in accordance with applicable codes and laws. .

m. Temporary Parking Lots

Parking lots which will be used for six months or less may be developed in accordance with the provisions of Section 18-60.070 of the Marysville Zoning Ordinance. Such temporary parking lots need not provide landscaping as would otherwise be required, but they shall meet all other design standards (parking space dimensions, aisle widths and so on). Temporary lots shall have an all-weather, dust-free surface as required by the City Services Director.

n. Screening

1. Street Buffer:

Pursuant to Section 18.86.050 of the Zoning Ordinance, all parking lots adjacent to public rights-of-way shall incorporate a minimum five foot wide landscaped planter with trees.

2. Near Residential Development:

A parking lot on a site adjacent to a residential development or next to a residential zone shall be screened by a solid six-foot high wall, fence, living fence or a growing hedge. If a living fence or growing hedge is used, the design shall be subject to approval of the City Planner or the final review authority. Wall/fence heights shall be reduced near driveways for proper site distance and pedestrian safety.

o. Parking Lot Landscaping

Parking lot landscaping and irrigation system design shall comply with Chapter 18.86 of the Marysville Zoning Code regarding landscaping. No exceptions to these requirements are allowed. Excerpts from Chapter 18.86 of the Zoning Code are noted below for information only:

- Landscaping plans shall be prepared by a licensed landscape architect, landscape designer or licensed landscape contractor that will install the project landscaping and irrigation system. In summary, landscaping and irrigation plans need to demonstrate compliance with the following requirements of these regulations.
- Where trees are either located in and/or will overhang onto the public right-of-way, tree species shall be selected from the City's approved Street Tree List.
- Trees shall be planted so that at maturity, 50% of the parking area is shaded at solar noon on June 21.
- A minimum of one tree shall be provided for every 300 square feet of required landscaped area.
- At least one tree must be planted for every ten parking spaces or fraction thereof.
- Trees shall be placed in tree wells with a minimum four-foot wide diameter or in landscaped areas no less than five feet in width and depth.
- The maximum slope of lawn or turf areas shall be 3 to 1.
- The minimum dimension of each lawn or turf area shall be 8 feet width or length.
- Soil must be improved by incorporating a minimum of 3" of organic soil amendment into the top six inches of soil.
- Nonturf areas shall emphasize low water consumptive plants.

p. Illumination.

Any lights provided to illuminate any off-street parking area shall be arranged so as to reflect the light away from any street or premises upon which a dwelling unit is located. Light standards standards shall incorporate shielding and/or lenses designed to direct light rays to minimize light bleed onto adjoining properties or the public right-of-way.

Off-Street Parking Dimensions

ANGLE PARKING

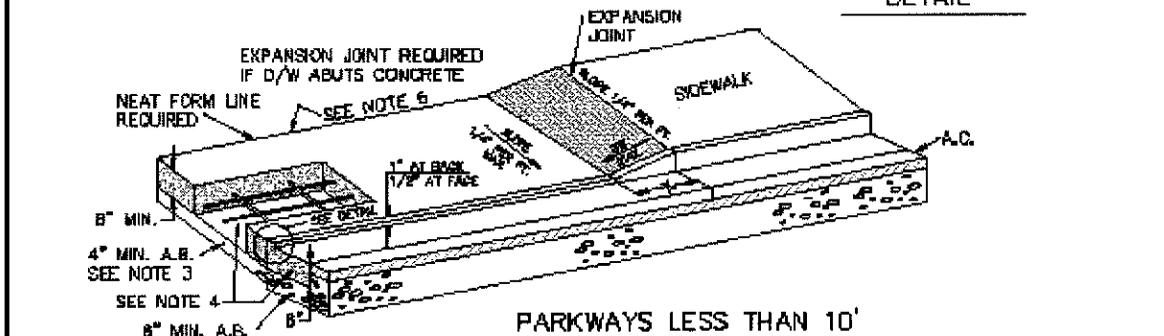
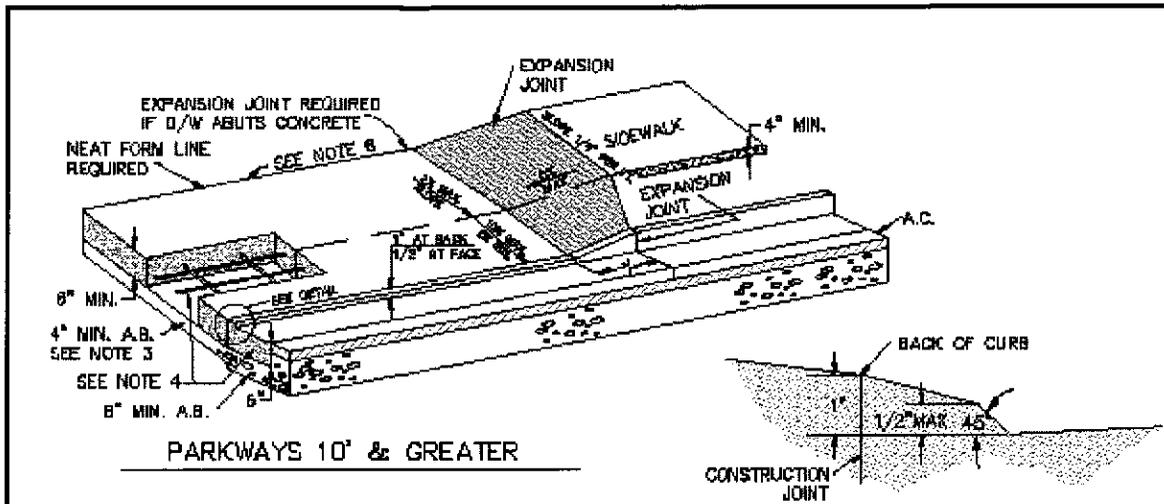
<u>Angle</u>	<u>Stall Width</u>	<u>Stall to Curb</u>	<u>Aisle</u>	<u>Two Rows + Aisle</u>
90°	9'0"	19'0"	25'0"***	63'0"
	9'6"	19'0"	24'8"***	62'6"
	10'0"	19'0"	24'0"***	62'0"
60°	9'0"	21'0"	19'0"*	61'0"
	9'6"	21'3"	18'6"*	61'0"
	10'0"	21'6"	18'0"*	61'0"
45°	9'0"	19'10"	16'4"*	56'0"
	9'6"	20'2"	15'2"*	55'6"
	10'0"	20'6"	14'0"*	55'0"

PARALLEL PARKING

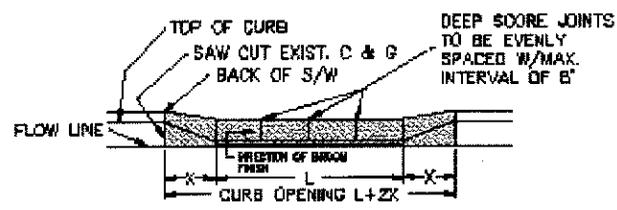
<u>Stall Width</u>	<u>Stall Length</u>	<u>Aisle</u>	<u>Two Rows + Aisle</u>
9'0"	24'0"	12'0"*	30'
9'6"	24'0"	12'0"*	31'
10'0"	24'0"	12'0"*	32'

* one-way aisle

** two-way aisle



- NOTES:
1. ALL CONCRETE REMOVALS SHALL BE TO NEAT SAW CUT LINES.
 2. 90% RELATIVE COMPACTION REQUIRED ON SUBGRADE.
 3. 1" ADDITIONAL CONCRETE THICKNESS MAY BE SUBSTITUTED FOR THE REQUIRED 4" OF CLASS 2 A.B.
 4. ALL DRIVEWAYS SHALL HAVE 2 NO. 4 REBARS 12" O.C. IN THE CURB AND NO. 4 REBARS 18" O.C. THROUGHOUT THE APPROACH.
 5. D/W APPROACH SHALL BE POURED SEPARATELY WITH CURB UNLESS OTHERWISE APPROVED BY THE ENGR.
 6. ON SITE GRADING MAY BE REQUIRED TO ELIMINATE EXCESSIVE GRADE CHANGE AND TO MAINTAIN SUITABLE DRAINAGE.
 7. MAXIMUM CURB OPENING MAY BE INCREASED DUE TO SPECIAL CONDITIONS ON APPROVAL OF CITY ENGINEER.



PARKWAY WIDTH	CURB LENGTH		MIN. L	MAX. L
	6" CURB	8" CURB		
≥ 10'	4'	6'	18"	36"
< 10'	5.7'	10.4'	12"	36"

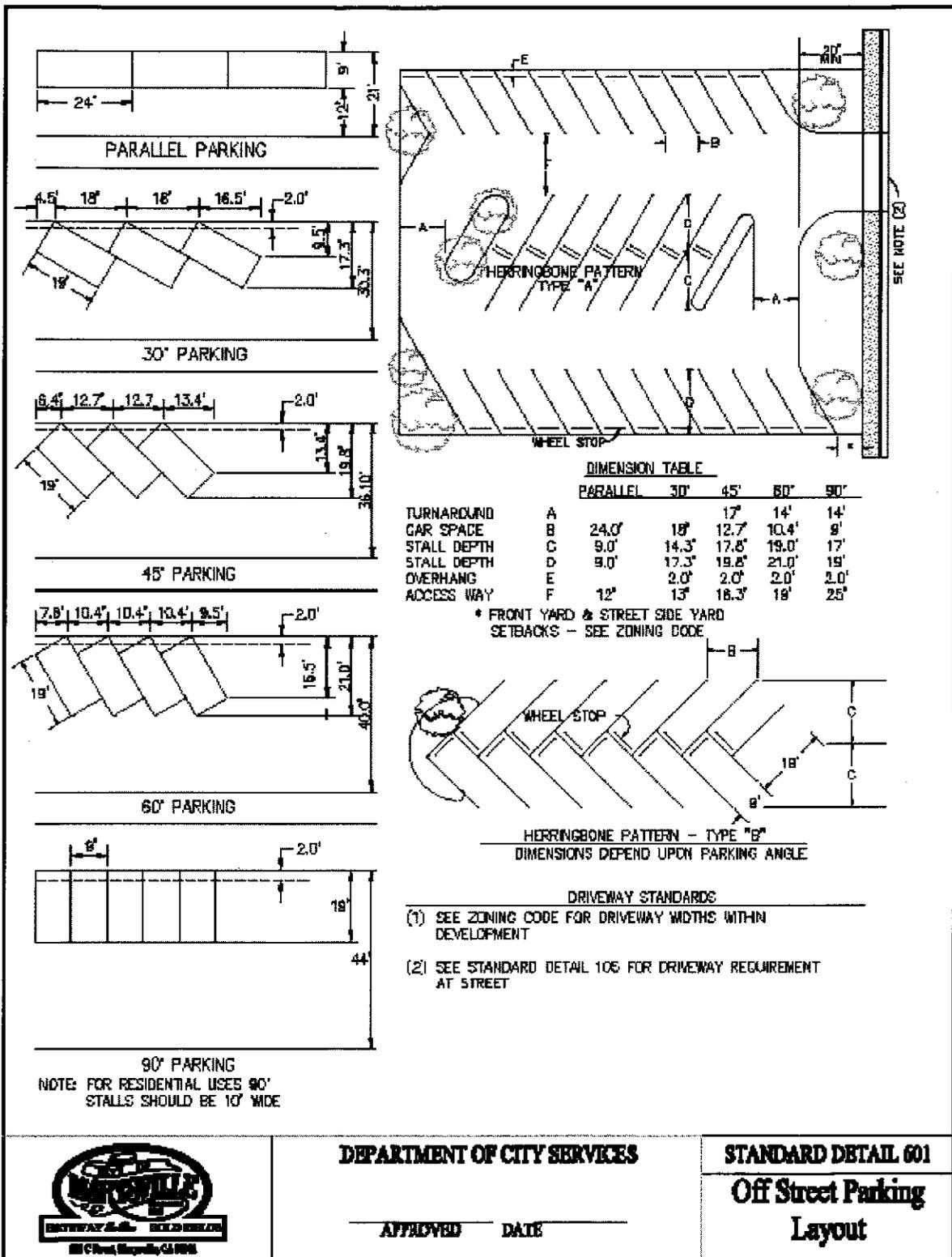


DEPARTMENT OF CITY SERVICES

STANDARD DETAIL 105

APPROVED _____ DATE _____

Commercial Driveway



Chapter 18.60

PARKING REGULATIONS

Sections:

18.60.010	Applicability.
18.60.020	Central business district exceptions.
18.60.030	Parking requirements.
18.60.040	Parking size and location.
18.60.050	Use of required off-street parking and loading by another building or use.
18.60.060	Parking design and improvement requirements.
18.60.070	Free and clear parking access.
18.60.080	Maintenance.
18.60.090	Temporary parking lots.

Section 18.60.010 Applicability.

The parking regulations described in this chapter apply to all zoning districts in the city.

Section 18.60.020 Central business district exceptions.

Within the C-2 and C-3 zoning districts in the central business district, off-street parking is required for residential uses, hotels and motels only.

Section 18.60.030 Parking requirements.

At the time of the erection of any building and/or structure(s) or usage of land hereinafter listed, or at the time any such building or structure is enlarged or increased in capacity by adding floor area or seats, or at such time that a higher usage is applied, there shall be provided for such new construction or intensified use, enlargement or increased capacity and use of land, the following minimum off-street parking spaces with adequate provisions for safe ingress and egress and said parking spaces shall be provided and thereafter shall be maintained in connection with such building or structure and/or use of land.

(1) Single-family, two family and attached dwellings shall provide at least two parking spaces for each dwelling unit.

(2) Multiple-family buildings, flats, bungalow courts, and apartment houses shall provide one and one-half parking spaces per dwelling unit, or at least one parking space per each six hundred square feet of gross floor area, whichever is greater.

(3) Roominghouses, lodging houses, residence clubs, and similar structures containing sleeping rooms shall provide at least one parking space for every two occupants based upon the maximum occupant load of the sleeping or dining areas whichever is greater, as determined from the Uniform Building Code.

(4) Motels, hotels and auto courts shall provide at least one parking space for each sleeping room, suite of rooms or housekeeping unit. Where other principal uses, such as restaurants, bars, and meeting rooms, are located on the premises, the principal use requiring the greatest amount of parking shall provide one hundred percent of the required parking spaces, and the other uses shall provide in addition at least seventy percent of the parking spaces which would be required if these uses were by themselves.

(5) Trailer and mobilehome parks shall provide at least two auto parking spaces for each travel trailer and mobilehome space.

(6) Hospitals shall provide at least two parking spaces for each bed licensed by the state. Any out-patient facilities shall provide additional parking as required for a medical office.

(7) Convalescent homes, nursing homes, and sanitariums shall provide at least one parking space for every four beds licensed by the county or state.

(8) Orphanages, children's homes, homes for the aged and rest homes shall provide at least one parking space for every ten beds licensed by the county or state.

(9) Day care or child care centers shall provide at least one parking space for each employee plus one parking space for every ten children licensed by the county or state, for passenger loading.

(10) Elementary schools shall provide at least one parking space for each employee plus loading space for at least two school buses.

(11) Junior high schools shall provide one parking space for each employee plus loading space for at least two school buses.

(12) High schools shall provide one parking space for each employee and one parking space for every three students in the eleventh and twelfth grades.

(13) Colleges shall provide at least one for each employee and at least one parking space for every two students.

(14) Churches and other places of worship, mortuaries, or funeral homes shall provide at least one parking space for every four seats in the main chapel or assembly room.

(15) Stadiums, ball parks and other outdoor sports areas with fixed seating shall provide at least one parking space for every four seats.

(16) Golf courses shall provide at least six parking spaces for each hole. Additional parking spaces are not required for the following accessory uses: driving ranges, putting greens, shower and locker rooms and maintenance shops or buildings.

(17) Driving ranges that are not accessory to golf courses or shooting ranges shall provide at least one parking space for each tee or shooter station.

(18) Miniature golf or pitch and putt courses shall provide at least one and one-quarter parking spaces for each hole.

(19) Tennis or other court games shall provide at least two parking spaces for each court.

(20) Bowling centers shall provide at least four parking spaces for each lane. Other principal uses within the bowling center such as restaurants, pool halls, cocktail lounges, and other uses shall provide additional parking spaces as required.

(21) Pool, card and billiard rooms shall provide at least two parking spaces for each table.

(22) Theaters, auditoriums, exhibition halls and similar places of public assembly with fixed seating shall provide at least one parking space for every four seats.

(23) Dancehalls, auditoriums, exhibition halls and similar places of public assembly where there is space for set-up seating or where there is no fixed seating shall provide at least one parking space for every ninety square feet of net floor area in the assembly hall(s).

(24) Public parks over ten acres in size shall provide at least five percent of the total area for off-street parking facilities.

(25) Swimming pools other than those used as necessary uses with residential and commercial-residential uses shall provide at least one parking space for every one hundred square feet of pool area.

(26) Skating rinks shall provide at least one parking space for every one hundred square feet of skating area.

(27) Wholesale and distribution centers shall provide at least one parking space for every five hundred square feet of gross floor area.

(28) Swimming and tennis clubs, cabana clubs, public neighborhood pools and similar recreational clubs or facilities shall provide at least the number of parking spaces or amount of parking area required by the use requiring the greatest parking area plus fifty percent of the parking required by the by the sum of other uses.

(29) Medical and dental offices shall provide at least one parking space for every two hundred (200) square feet of gross floor area.

(30) Banks and other offices shall provide at least one parking space for every three hundred square feet of gross floor area.

(31) Barbershops and beauty shops, wig salons and similar uses shall provide at least two parking spaces for each employee.

(32) Physical fitness centers, health studios, steam baths, and similar uses shall provide at least one parking space for every two occupants based upon the maximum occupant load as determined under the Uniform Building Code.

(33) General retail sales including department and discount stores not located in a shopping center shall provide at least one parking space for each two hundred and fifty square feet of gross floor area.

(34) Retail uses such as retail stores displaying and selling principally furniture, floor coverings, pianos and organs, and large appliances shall provide at least one parking space for every five hundred square feet of gross floor area.

(35) Restaurants and bars, including those with dancing, shall provide at least one parking space for every 60 square feet of seating and/or dining area and one space for every 100 square feet of kitchen and serving counter area. For outdoor dining, a minimum of one space per 100 square feet shall be provided.

(36) Uncovered sales areas such as new or used automobile, boat or trailer sales, lumber or building material yards, plant nurseries or similar uses shall provide a minimum of five customer parking spaces for the first five thousand square feet of uncovered sales area and one customer parking space for each additional one thousand square feet of uncovered sales area to a required maximum of twenty customer parking spaces.

(37) Shops repairing household appliances and equipment shall provide at least one parking space for every five hundred square feet of gross floor area plus one parking space for each employee.

(38) Warehouses and storage buildings shall provide at least one parking space for each employee plus one parking space for each company operated vehicle, or one parking space for every two thousand square feet of gross floor area, whichever is greater.

(39) Mini storage warehouses shall provide one space per 300 square feet of office space with a minimum of two spaces for visitor parking and one space per caretakers unit. Visitor parking spaces shall be located at the main entrance to the facility.

(40) Shopping centers shall provide at least one parking space for each two hundred and fifty square feet of gross floor area.

(41) Manufacturing or repair plants maintaining more than one shift of workers shall provide two parking spaces for every three employees one on each of the two larger shifts plus one parking space for each company operated vehicle.

(42) Manufacturing plants, machine shops and contractors and industrial facilities shall provide either one parking space for each employee and each company operated vehicle, or one parking space for every five hundred square feet of gross floor area and each company operated vehicle, whichever is greater.

(43) Communication equipment buildings and utility service yards shall provide one parking space for every two employees on the premises at any open time including overlaps in shifts.

(44) Transitional housing and emergency shelters shall provide one parking space for every staff member and one parking space for every four (4) residents.

(45) For uses not listed in this chapter, off-street parking shall be provided as follows:

(a) Residential or commercial-residential uses shall provide at least one parking space for each dwelling unit or sleeping unit.

(b) Institutional uses shall provide at least one parking space for every three occupants based upon the maximum occupancy load of the institution at any one time as determined from the Uniform Building Code.

(c) Recreational uses shall provide at least one parking space for every three patrons or occupants who would be on the premises at any one time based upon the maximum occupant load as determined by the Uniform Building Code.

(d) Office personal service, and commercial uses shall provide at least one parking space for every two occupants based on the maximum load as determined by the Uniform Building Code.

(e) Industrial uses shall provide the number of parking spaces determined to be necessary by the director of the department of public works or his designee based upon the anticipated maximum occupant load.

Section 18.60.040 Parking size and location.

(a) Parking spaces as required by this chapter shall be on the same parcel with the main building or structure.

(b) Notwithstanding subsection (a) above, required off-street parking spaces may be provided on separate parcel(s) located not more than six hundred (600) feet from the main building or structure it serves, provided that the planning commission grants a use permit. In granting such use permit, the planning commission shall find that the provision of required off-street parking on the same parcel with the main building is impossible or impractical due to site conditions or that utilization of parking spaces on another parcel will accomplish a desirable design objective, and that an acceptable alternative is available. To ensure the perpetuation of the off-street parking space requirement herein, the owner(s) of the same lot(s) with the main building(s), and the owner(s) of the parking space on the separate parcel(s) shall execute a declaration of restrictions and covenants covering said lot(s) and parking space(s). Pursuant to California Government Code Section 65870, this declaration of restrictions and covenants shall be made on forms prescribed by the City Planner setting aside the required space for parking and shall be approved by the City Council.

(c) Single-family and duplex residential:

(1) No more than two required off-street parking spaces may be located in the required front or street side yard.

(2) No more than one driveway per street frontage may be extended from the edge of the public street to the property except where the total width of the street frontage is eighty feet or greater, or where a circular driveway is utilized.

(3) The width of paved surfacing for parking in the required front yard area shall be limited to a maximum of forty percent of the width of the front yard or 20 feet whichever is greater.

Section 18.60.050 Use of required off-street parking and loading by another building or use.

(a) No part of an off-street parking area or off-street loading area required for any building or use for the purpose of complying with the provisions of this chapter shall be included as a part of an off-

street parking area or off-street loading area similarly required for another building or use unless the type of structure indicates, in the opinion of the City Planner, that the periods of usage of such buildings or use will not be simultaneous with each other.

(b) If the common parking area(s) and the building sites to be served are subject to more than one ownership, such parking facilities must be provided in accordance with 18.60.040(b).

Section 18.60.060 Parking design and improvement requirements.

Except as otherwise provided in this chapter, off-street parking shall be designed and improved in accordance with the City's Off-Street Parking Development Standards as approved separately by resolution of the City Council.

Section 18.60.070 Free and clear parking access.

All parking spaces and access aisles shall remain free and clear of equipment, refuse, storage items or anything that inhibits access and parking of vehicles at all times.

Section 18.60.80 Maintenance.

All parking spaces and access aisles shall be maintained in good repair in accordance with the City's Off-Street Parking Development Standards and any other conditions imposed at the time of approval.

Section 18.60.090 Temporary parking lots.

Parking lots that will be used for six months or less may be developed in conjunction with a temporary use. Such temporary parking lots need not provide landscaping or other improvements as would otherwise be required, but they shall meet all other design standards such as parking space dimensions and aisle widths. Temporary lots shall have an all-weather, dust-free surface as required by the City Services Department.