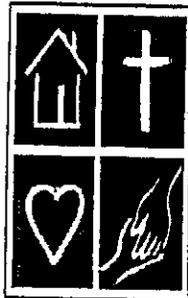


EXTERIOR HOUSING CONDITION SURVEY & ANALYSIS

Prepared for:

The City of Marysville

Prepared by:



Mercy Housing California
MERCY HOUSING SYSTEM

June 2002

Funded by Community Development Block Grant

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**CITY OF MARYSVILLE
HOUSING CONDITIONS SURVEY**
June 2002

I. INTRODUCTION TO HOUSING CONDITION SURVERY

In 2002, Mercy Housing California received Community Development Block Grant (CDBG) Planning and Technical Assistant funds to conduct a housing conditions survey. The survey analyzes the exterior housing condition, of units in the City of Marysville. The exterior condition survey rated all housing units within the city limits. The city contracted with Mercy Housing California (MHC), a non-profit housing organization, to implement the grant activities. MHC staff conducted the survey.

For the exterior condition survey, detailed City maps were used to locate all residential dwellings. The survey instrument and methodology was developed from the standard State of California, Housing and Community Development (HCD) Program survey format (See **Exhibit B** for survey form used). The exterior housing condition of each unit was based upon state HCD adopted criteria, which rate the condition of five housing elements: foundation, roofing, siding, windows, and electrical. The units were identified by address and rated with a numbered assessment for each of these five elements, the total of which comprises the rating for each unit.

The findings of the Housing Conditions Survey document the City of Marysville's need to continue with its effort to rehabilitate existing housing in dilapidated, substantial, and moderate housing condition as a way to preserve existing housing stock. This can be accomplished through partnerships with non-profit organizations, for-profit developers, and lending institutions, in order to promote, develop, and sponsor the development of affordable housing in the City of Marysville.



II. SURVEY METHODOLOGY

The City of Marysville contracted with Mercy Housing California (MHC) for services to conduct a housing conditions survey within the city limits.

The purpose of the housing conditions survey is to provide an assessment of the condition of the housing stock within the City of Marysville. This information will then be used to assess the need for housing rehabilitation programs and/or identify specific strategies for low and moderate-income rental housing and owner-occupied housing. Specifically, the surveys allow the City to determine the total number of residential units within the city and to categorize the number and types of units according to rehabilitation need.

A Mercy Housing California Rehabilitation Inspector conducted the visual assessment. An assistant, throughout the late summer/fall of 2001, recorded information while MHC's Project Assistant tabulated data collected. The survey instrument used was the housing conditions survey form provided by California's Department of Housing and Community Development Community Development Block Grant Program. The surveys consisted of exterior assessments and thus do not reflect interior conditions.

The housing conditions survey instrument rates the conditions of five housing elements: foundation, roofing, siding/stucco, windows and electrical. The units are identified by address and provided with a rating for each element from 0 to 25 with 0 representing good condition to 25, indicating replacement was needed. The total score from the five ratings determine the overall assessment, which is categorized as follows according to the state of California:



ASSESSMENT	POINTS	DESCRIPTION
Sound	9 or less	Structurally sound - no need of repair or signs of deferred maintenance
Minor	10 - 15	Appears structurally sound, but shows signs of deferred maintenance -- i.e. roof replacement needed
Moderate	16 - 39	Repairs needed for at least one major component and other repairs -- i.e. roof replacement, painting, and window repairs
Substantial	40 - 55	Replacement need for several major systems and possibly other repairs -- i.e. complete foundation work and roof replacement, along with painting and windows
Dilapidated	56 and over	Structurally unsound -- all systems need repair. May need demolition if not major rehabilitation.

It is important to note when reading housing condition data, that units are evaluated from the exterior only. While a drive-by inspection can determine whether or not a home needs a new foundation or a roof, it cannot identify whether the plumbing needs to be replaced or whether the home has an unsafe electrical system. However, the status of the items evaluated does suggest the condition of the overall structure. For instance, a wood frame home that does not have a foundation will probably have an old electrical system. While the overall rating system accounts for this, the specific interior needs of any particular unit are not known until a housing inspection is conducted.

The City of Marysville's Housing Conditions Survey revealed that 20% of the city's housing stock is in need of rehabilitation. This percentage has decreased over the past decade from 38%, in part because of the Housing Rehabilitation programs that the City of Marysville has operated. Still, more than 10% of the homes are considered in substantial need or dilapidated. There are nine streets that are considered to have 100% rehabilitation need, with units in need of minor repair to those that are totally dilapidated. This area of higher rehabilitation need is concentrated in west Marysville.



III. ANALYSIS OF FINDINGS

A total of 2,695 housing units were surveyed in Marysville. Each apartment building was counted as one whole unit in the calculation regardless of the number of units each apartment has. Approximately 80 percent of the units surveyed are in sound condition; however the remaining 20 percent (544 housing units) must have at least minimal repairs to be brought up to a sound condition.

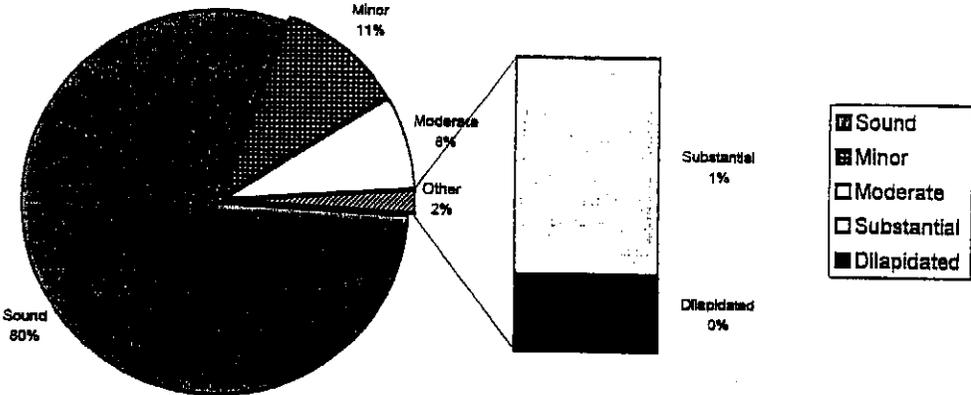
FINDINGS FOR MARYSVILLE CITY		
Condition	Number of Units	Percent of
Total		
Sound	2151	80%
Minor	283	10.5%
Moderate	210	7.7%
Substantial	38	1.3%
Dilapidated	13	.5%
Total Substandard	544	20%
Total Standard	2151	80%
TOTAL UNITS	2695	100%

SUBSTANDARD HOUSING CONDITIONS		
Condition	Number of Units	Percent of
Total		
Total Substandard	408	20%
Minor	283	52%
Moderate	210	38.6%
Substantial	38	7%
Dilapidated	13	2.4%

Furthermore, the housing conditions survey reveals that 20 percent of the total housing units are in a substandard condition. Of those substandard housing units, more than 50 percent are in need of moderate repair, while 2.4 percent do need major rehabilitation in order to be considered a safe and healthy living environment.

IV. Data

The City of Marysville's Housing Conditions Survey Data



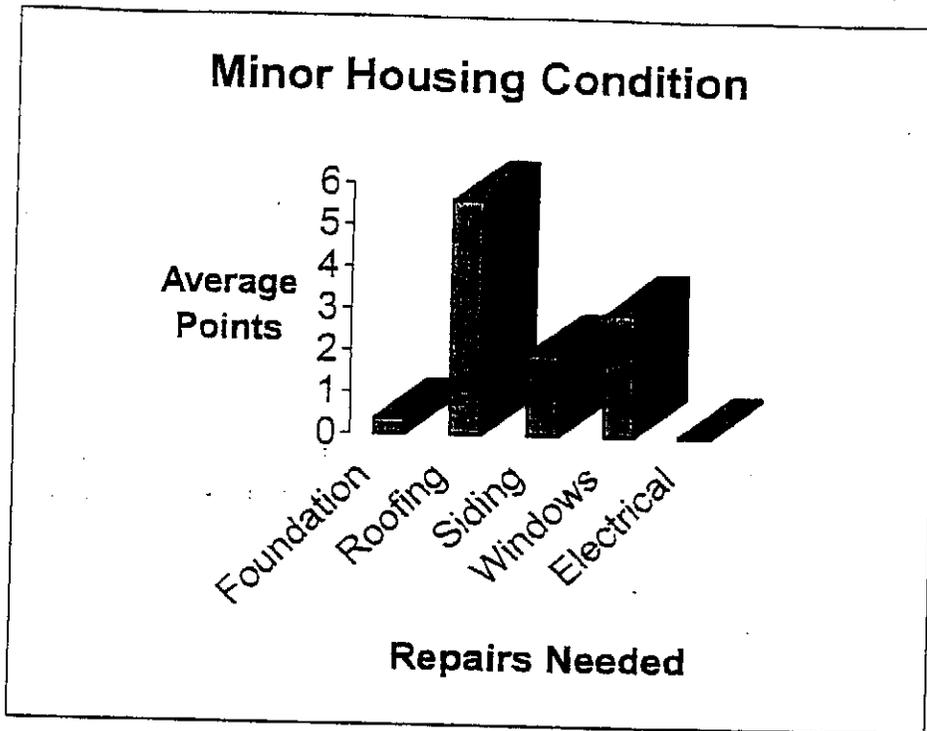
This Community Development Block Grant Housing Conditions Survey uses the categories of: Sound, Minor, Moderate, Substantial, and Dilapidated housing conditions in which a certain range of points qualifies each house for the given categories, as seen earlier in the survey methods section.

The following charts display the point accumulation for each of the four substandard categories, given in average total points for the five most prioritized housing repairs: foundation, roofing, siding/stucco, windows, and electrical. The points are distributed such that as the numbers increase then a greater amount of repair must be done. Siding/stucco, windows and electrical repairs may receive a maximum of 10 points, while both foundation and roofing have a 25-point maximum. This maximum number of points means full replacement is needed for the repair. As a result, the surveyors calculate these points to categorize each house according to its condition.



Description of Repairs Needed per Each Substandard Housing Condition

CHART 1:

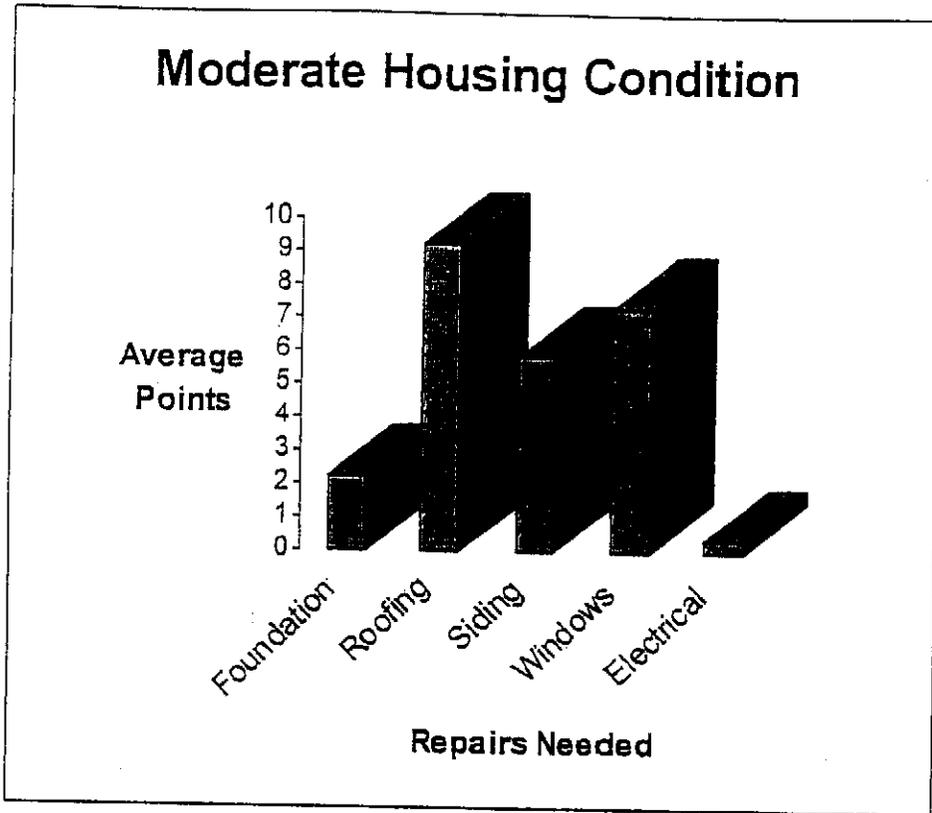


There are a total of two hundred eighty-three (283) housing units in minor condition, within the city of Marysville.

Based upon the survey data, this table provides a detailed description as to what repairs must consist of to bring the houses to a more livable standard.

Categories	Average Score	Description of Repairs
Foundation	0.4	Existing foundation in good condition.
Roofing	5.6	Shingles missing/Chimney needs repair.
Siding/Stucco	2.0	Needs re-painting.
Windows	2.9	Broken windowpanes.
Electrical	0.0	No repair needed.
Total	10.9	Housing units in a minor condition have a total point range from 10-15.

CHART 2:

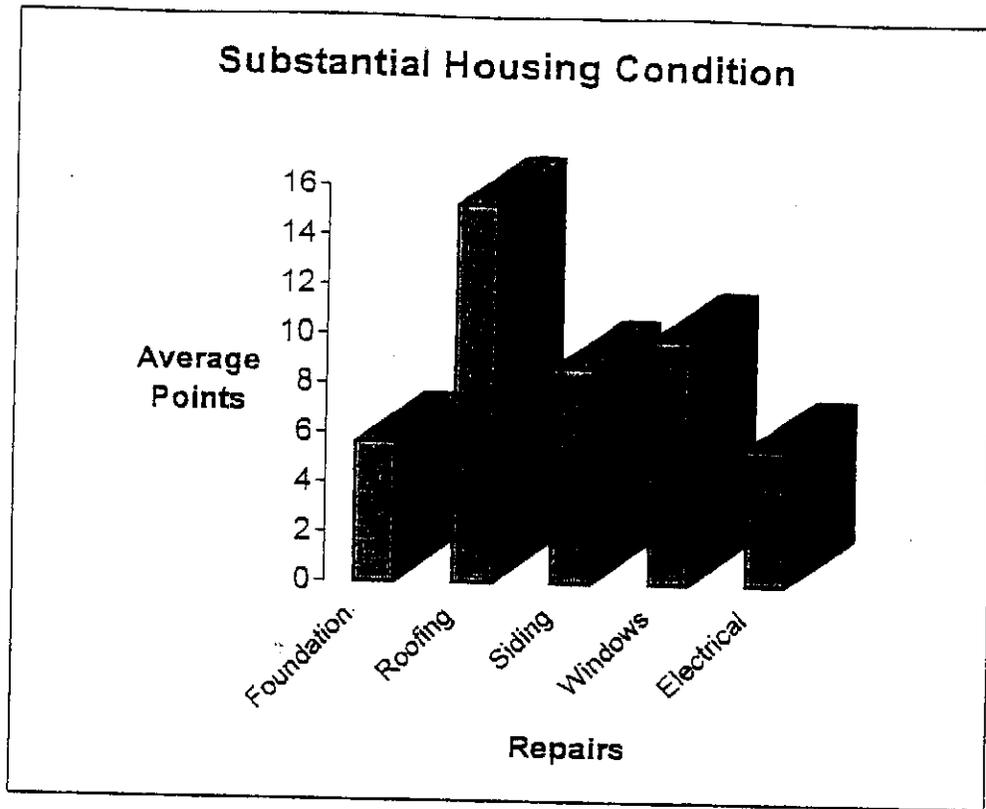


There are two hundred ten (210) housing units in moderate condition, within the city of Marysville.

Based upon the survey data, this table provides a detail description as to what repairs must consist of to bring the houses to a more livable standard.

Categories	Average Score	Description of Repairs
Foundation	2.2	Existing foundation in good condition.
Roofing	9.2	Needs re-roofing.
Siding/Stucco	5.8	Needs to be patched and re-painted.
Windows	7.4	In need of repair/replacement.
Electrical	0.4	No repair needed.
Total	25.0	Housing units in moderate condition have a total point range of 16-39.

CHART 3:

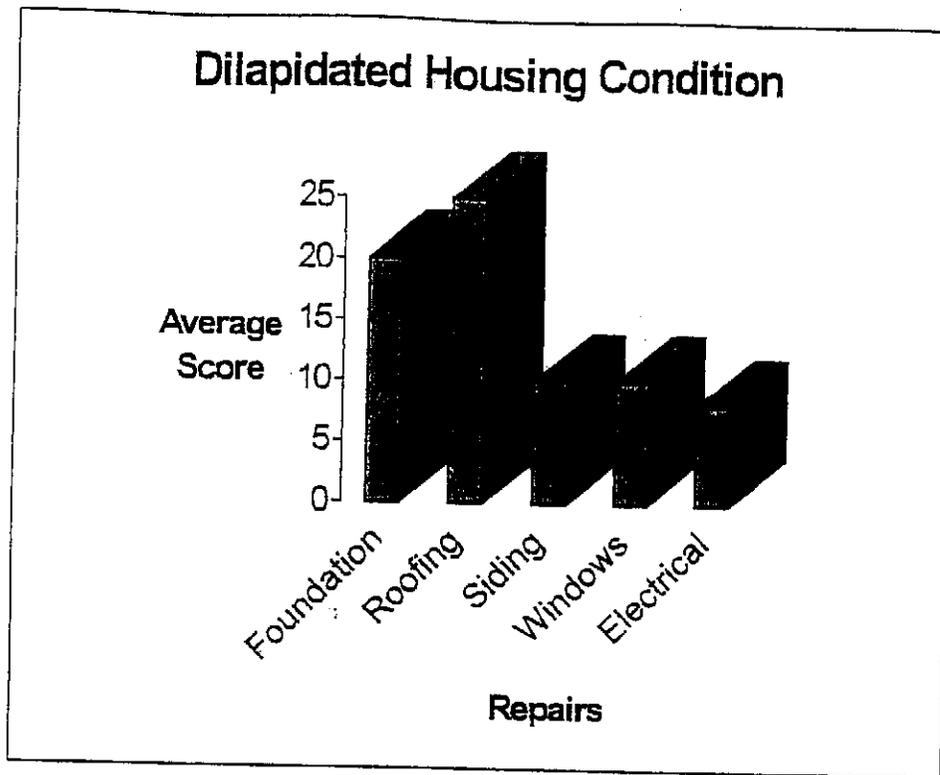


There are a total of thirty-eight (38) housing units in a substantial condition, within the city of Marysville.

Based upon the survey data, this table provides a detailed description as to what repairs must consist of to bring houses to a more livable standard.

Categories	Average Score	Description of Repair
Foundation	5.7	Existing in good condition/Repairs needed.
Roofing	15.3	Needs re-roofing/Roof structure needs replacement.
Siding/Stucco	8.7	Needs replacement and painting/Asbestos or Lead-based.
Windows	9.9	In need of replacement.
Electrical	5.5	Minor repair.
Total	45.0	A house may be classified to be in substantial condition if the total number of points range from 40-55.

CHART 4:



There are a total of thirteen (13) housing units in a dilapidated rehab condition within the city of Marysville.

Based upon the survey data, this table provides a detailed description as to what the repairs must consist of to bring the houses to more livable standard.

Categories	Average Score	Description of Repairs
Foundation	20	No foundation, or needs a complete foundation.
Roofing	25	Roof structure needs replacement and re-roofing.
Siding/Stucco	10	Asbestos/Lead-Based.
Windows	10	In need of replacement.
Electrical	8.08	Minor repair/ Replace main panel.
Total	73.08	Must have 56 or more total points to be considered dilapidated.

COMPARING DATA:

The housing condition survey assessed all of the housing units in the City of Marysville counting duplexes and multi-family housing units as a single unit. Census 2000 data for the City of Marysville shows a total of 4,999 housing units, which counts duplexes as two units, etc. Information as to housing rehabilitation needs cannot be determined with Census 2000 data (www.census.gov).

The Sacramento Area Council of Government (SACOG) Regional Housing Needs Plan totals 5,020 housing units for the City of Marysville in the year 2000. Housing units are divided into four different income categories (very low, low, moderate, and above moderate) in which RHNP assesses highest income households are more likely to be new homes whereas lower income households tend to be older homes (www.sacog.org/rhnp). In the year 2000, among "Above Moderate Income" households 61.76% of homes were new units whereas among "Very Low Income" households only 4.12% of homes were new units. This trend supports MHC's data since new homes are less likely to be in need of housing rehabilitation. SACOG information appears consistent with the City of Marysville's housing conditions survey because the highest concentration of housing repair needs according to the survey is located in West Marysville, which is the older part of the city. New homes are located in Northeast Marysville, which is where the least amount of housing rehabilitation is needed according to the housing conditions survey for the City of Marysville.

RECOMMENDATIONS:

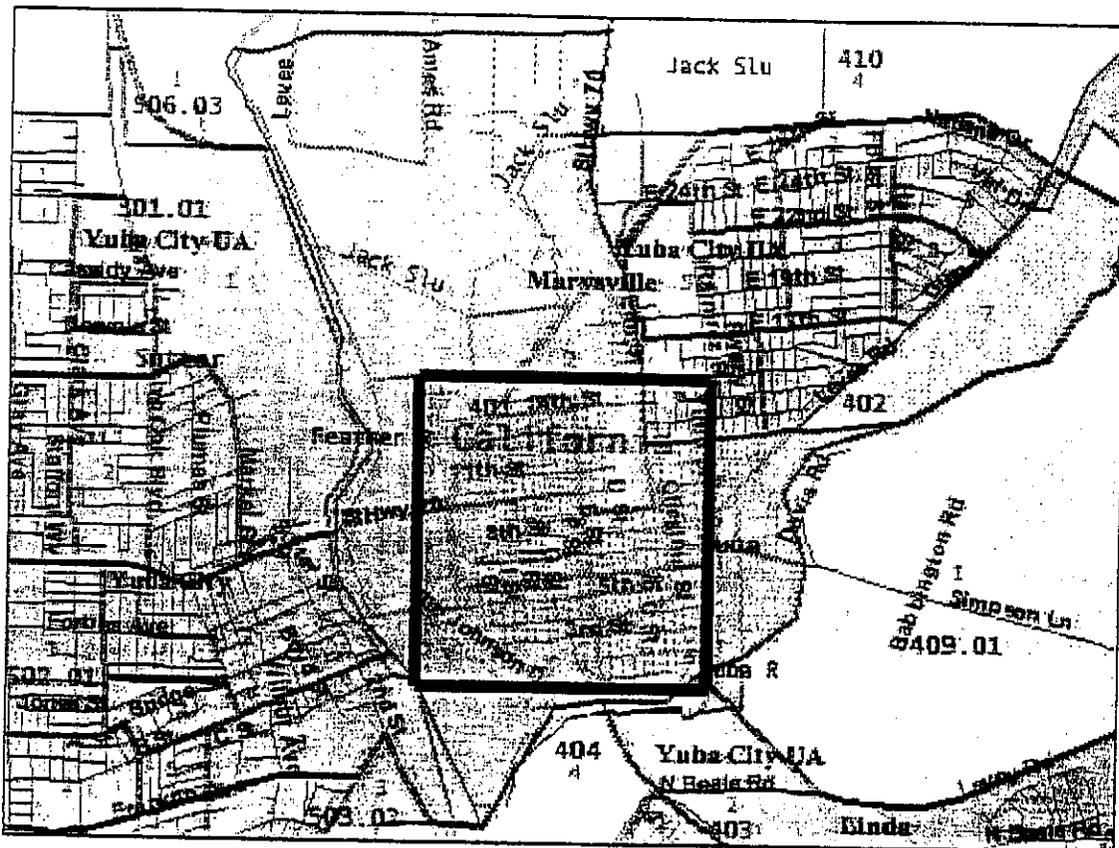
The City of Marysville should continue conducting a housing rehabilitation program within the City for both owners and owner-investors. There are more than 500 units, or 20% that are in need of rehabilitation. This number does not consider that some of those units may be multi-unit complexes. In an area such as Marysville with a small number of housing units, it is critical to bring its substandard housing units up to health and safety standards.

The City of Marysville should continue to utilize CDBG, HOME, program income, redevelopment agency and other funding sources to address its health and safety hazards in deteriorated housing and to extend the useful life of housing structures.

The City of Marysville should consider undertaking a paint grant program, especially for the neighborhoods or streets with a high percentage of units in need of rehabilitation. The paint grant program may serve as an incentive for residents/owners to rehab their properties.

City of Marysville

(www.census.gov)



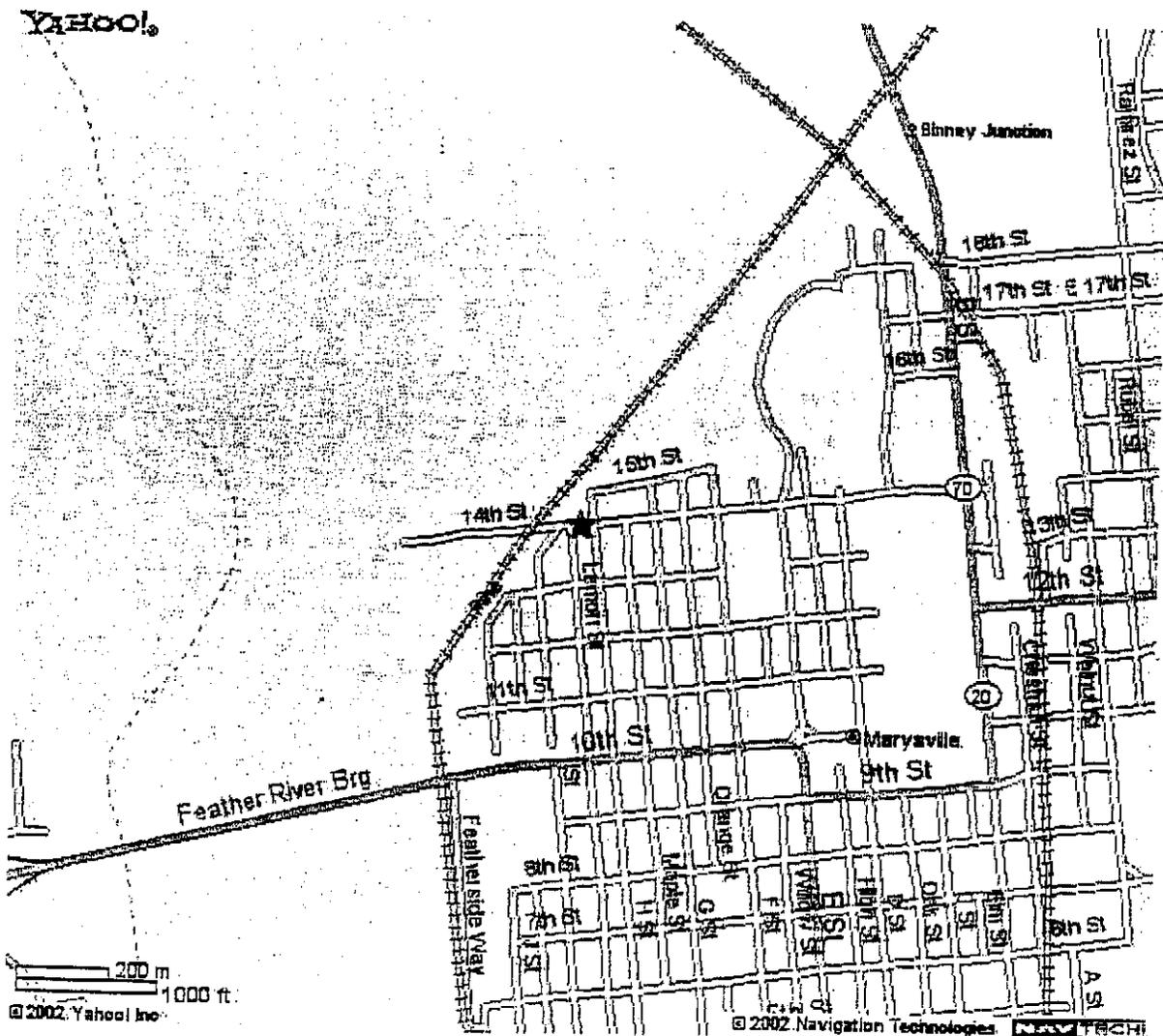
The area blocked is the area of the City of Marysville in most need of rehabilitation according to the housing conditions survey. West Marysville is where the least amount of new homes are located in contrast to the newer housing units of Northeast Marysville.

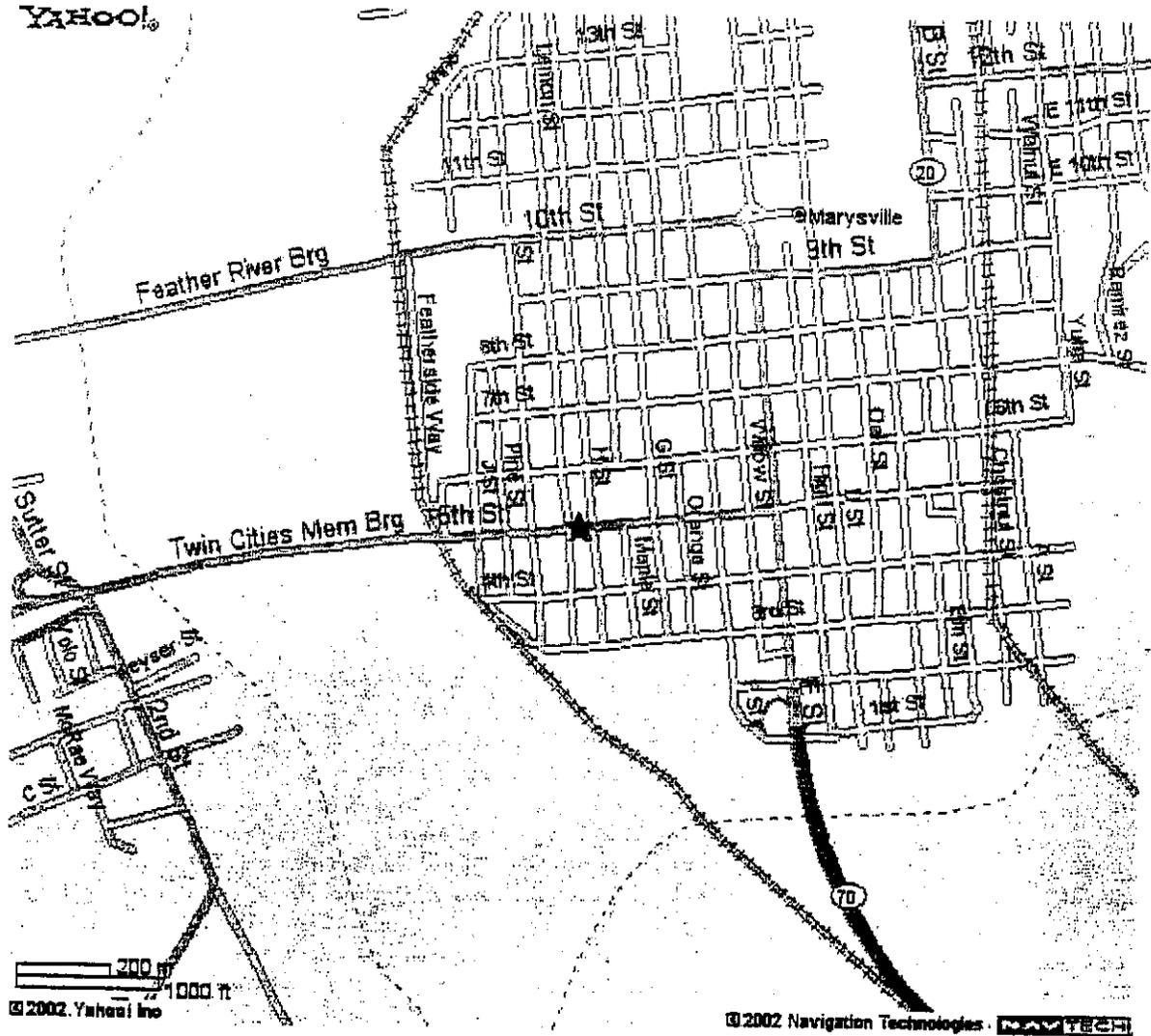


Substandard Housing in Marysville by Street

(<http://maps.yahoo.com/>)

The following two maps display the high volume areas of Marysville's substandard housing units. The highlighted regions have greater than a 25 percent rehabilitation need, according to the June 2002 Exterior Housing Condition Survey. The housing condition survey statistics by street can be found in **Exhibit C**.





These maps display the clusters of substandard condition housing units in Marysville. A large majority of the groups are aligned near railroad tracks, a common characteristic of many cities' low-income housing areas. The highlighted streets contain 10 or more units each and represent a total of 396 substandard housing units that can be located in this sector of Marysville alone.

These clusters may be potential *Target Areas* for multi-project housing rehabilitation efforts.

CDBG HOUSING CONDITION SURVEY (Sample)

MAP # _____

Vacant (—Yes/—No)
For Sale (—Yes/—No)

ADDRESS _____

CITY _____

CONSTRUCTION TYPE

Wood Frame _____
Masonry _____
Mobile _____
Modular _____
Other _____

STRUCTURE TYPE

Single Family with Detached Garage _____
Single Family with Attached Garage _____
Duplex _____
Multi-Family _____ # of Units _____
Other _____

FRONTAGE IMPROVEMENTS IF APPLICABLE:

_____ CURBS
(—Yes/—No)

_____ GUTTERS
(—Yes/—No)

_____ ADEQUATE SITE DRAINAGE
(—Yes/—No)

_____ PAVED STREET
(—Yes/—No)

_____ SIDEWALKS
(—Yes/—No)

_____ Driveway
(—Yes/—No)

#1 - FOUNDATION:

- 0 Existing foundation in good condition.
- 10 Repairs needed
- 15 Needs a partial foundation
- 25 No foundation or needs a complete foundation.

#2 - ROOFING:

- 0 Does not need repair
- 5 Shingles missing
- 5 Chimney needs repair
- 10 Needs re-roofing
- 25 Roof structure needs replacement and re-roofing.

#3 - SIDING/STUCCO:

- 0 Does not need repair.
- 1 Needs re-painting.
- 5 Needs to be patched and re-painted.
- 10 Needs replacement and painting.
- 10 Asbestos/Lead-Based.

#4 - WINDOWS:

- 0 No repair needed.
- 1 Broken window panes
- 5 In need of repair.
- 10 In need of replacement.

#5 - ELECTRICAL:

- 0 No repair needed.
- 5 Minor repair.
- 10 Replace main panel.

Sound	9 or less
Minor	10 - 15
Moderate	16 - 39
Substantial	40 - 55
Dilapidated	56 and over

56 Dilapidated—a unit suffering from excessive neglect, where the building appears structurally unsound and maintenance is nonexistent, not fit for human habitation in its current condition, may be considered for demolition or at a minimum, major rehabilitation will be required.

	#1 Foundation	#2 Roofing	#3 Siding/ Stucco	#4 Windows	#5 Electrical	TOTAL
Points						

Comments:

Surveyor _____
Revised 7/98

Date _____

Substandard Housing in the City's Redevelopment Plan Area

STREET	SOUND	MINOR	MODERATE	SUBSTANTIAL	DILAP.	TOTAL	% REHAB NEED
5th Street *		8	3		1	12	100%
17th Street		5	1			6	100%
18th Street		4	3	1		8	100%
Yuba St			1	1	2	4	100%
Elm *		6	4		1	11	100%
Ellis Lake Dr				3		3	100%
Booth St		1	1			2	100%
High		2	1			3	100%
Willow		2	1			3	100%
Pine St *	3	7	14	1	1	26	88%
D St *	4	13	13	1		31	87%
H St *	12	42	32	1		87	86%
Orange	1	1	4			6	83%
Lemon *	3	1	8	5		17	82%
F St *	7	19	12	1		39	82%
4th Street	2	5	1	1	2	11	82%
3rd Street	1	2	1	1		5	80%
A St	1	1	2	1		5	80%
I St *	16	23	19	6	1	65	75%
14th Street *	4	2	4	4	2	16	75%
E St *	2	3	3			8	75%
C St *	11	24	2			37	70%
Mapel	3		5		2	10	70%
13th Street *	13	9	9	1		32	59%
J St *	7	8	2			17	59%
12th Street *	22	12	7	3	1	45	51%
G St *	25	8	17	1		51	51%
Chestnut	6	1	4	1		12	50%
7th Street *	23	13	5	1		42	45%
2nd Street	5		3	1		9	44%
6th Street *	18	7	7			32	44%
11th Street *	25	11	6	2		44	43%
B St	10	1	5			16	38%
8th Street *	29	6	4			39	26%
Oak	4	1				5	20%
E 15th St	13	2		1		16	19%
9th Street	11	1	1			13	15%
Bubb	11	2				13	15%
Divver	15	1	1			17	12%

City of Marysville
Housing Conditions Survey

STREET	SOUND	MINOR	MODERATE	SUBSTANTIAL	DILAP.	TOTAL	% REHAB NEED
Aldridge	25	3				28	11%
Covilland	61	6				67	9%
Jacobs St	36	3				39	8%
E 13th St	15	1				16	6%
Triplett Way	30	1	1			32	6%
Bryden	15	1				16	6%
Rideout Way	54	3				57	5%
Freeman	19	1				20	5%
Greeley	22	1				23	4%
Foast	28	1				29	3%
Attern	29	1				30	3%
Boulton	36	1				37	3%
Edwards	36	1				37	3%
E 17th St	44	1				45	2%
E 19th St	46		1			47	2%
Houston	92	1	1			94	2%
Val Dr	49	1				50	2%
E 22nd St	56	1				57	2%
Sampson	78	1				79	1%

* Street listed in Exhibit A Maps.

Dilapidated									
Number	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL		
1	70	12th	15	25	10	10	10		10
2	80	14th St	25	25	10	10	10		10
3	80	14th St	25	25	10	10	10		10
4	80	4th St	25	25	10	10	10		10
5	70	4th St	15	25	10	10	10		10
6	60	5th St	15	25	10	10	10		0
7	71	Elm	25	25	10	1	10		10
8	80	I St	25	25	10	10	10		10
9	80	Mapel	25	25	10	10	10		10
10	80	Mapel	25	25	10	10	10		10
11	65	Pine St	10	25	10	10	10		10
12	65	Yuba St	15	25	10	10	10		5
13	60	Yuba St	15	25	10	10	10		0

Substantial

Number	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
1	50	11th	0	25	10	10	5
2	50	11th St	0	25	10	10	5
3	45	12th	10	0	0	25	10
4	45	12th	0	25	10	10	0
5	45	12th	0	25	10	5	5
6	50	13th	15	25	0	10	0
7	40	14th St	0	10	10	10	10
8	40	14th St	10	10	10	5	5
9	40	14th St	0	10	10	10	10
10	40	14th St	0	25	10	5	0
11	40	18th St	0	10	10	10	10
12	40	2nd St	0	10	10	10	10
13	40	3rd St	10	10	10	10	0
14	45	4th St	15	10	10	5	5
15	40	7th St	10	10	10	10	0
16	40	A St	10	10	10	10	0
17	55	Chestnut	10	10	10	10	0
18	55	D St	10	25	10	5	5
19	40	E 15th St	0	25	10	10	0
20	40	Ellis Lake Dr	0	10	10	10	10
21	40	Ellis Lake Dr	0	10	10	10	10
22	40	Ellis Lake Dr	0	10	10	10	10
23	45	F St	0	25	10	10	0
24	45	G St	0	25	10	10	0
25	50	H St	10	10	10	10	10
26	55	I St	15	10	0	25	5
27	55	I St	15	10	10	10	10
28	50	I St	10	10	10	10	10
29	50	I St	10	10	10	10	10
30	45	I St	10	10	5	10	10
31	45	I St	0	25	10	10	0
32	50	Lemon	10	25	10	5	0
33	50	Lemon	10	10	10	10	10
34	40	Lemon	0	25	10	5	0
35	40	Lemon	15	10	5	10	0
36	40	Lemon	0	10	10	10	10
37	50	Pine	0	25	10	10	5
38	40	Yuba St	10	10	0	10	10

Moderate

Number	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
1	36	11th	15	10	1	10	0
2	35	11th	0	25	0	10	0
3	30	11th	10	0	10	10	0
4	20	11th	15	10	0	0	0
5	25	11th	0	0	10	10	0
6	31	11th St	10	0	5	10	0
7	31	12th	10	10	1	10	0
8	30	12th	10	10	0	10	0
9	20	12th	0	10	10	0	0
10	20	12th	0	10	0	10	0
11	16	12th	0	10	0	10	0
12	30	12th	0	0	1	10	5
13	36	12th St	10	5	0	5	5
14	36	13th	10	25	1	0	0
15	30	13th	0	25	0	5	0
16	30	13th	0	10	10	10	0
17	25	13th	0	10	0	10	5
18	25	13th	0	25	0	0	0
19	20	13th	0	10	5	10	0
20	20	13th	0	10	10	0	0
21	20	13th	0	10	0	10	0
22	30	13th	0	10	0	10	0
23	30	14th St	0	10	10	5	5
24	20	14th St	0	10	10	5	0
25	20	14th St	0	10	0	10	0
26	25	14th St	0	10	10	0	0
27	25	17th St	0	10	10	5	0
28	20	18th St	0	10	10	5	0
29	17	18th St	0	10	10	0	0
30	20	18th St	0	10	1	1	5
31	20	2nd St	0	10	0	10	0
32	20	2nd St	0	10	0	10	0
33	30	2nd St	0	0	10	10	0
34	30	3rd St	0	10	10	10	0

Marysville

	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
35							
36							
37							
38							
39							
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59							
60							
61							
62							
63							
64							
65							
66							
67							
68							
69							
31		4th St	10	0	0	10	0
31		5th St	10	10	1	10	0
20		5th St	0	10	10	5	0
30		5th St	0	0	10	10	0
30		6th St	10	10	10	0	0
30		6th St	10	0	10	10	0
20		6th St	0	0	10	10	5
20		6th St	0	10	10	0	0
20		6th St	0	10	10	0	0
20		6th St	0	10	0	10	0
30		6th St	0	10	0	10	0
30		7th St	10	10	0	5	5
22		7th St	0	5	0	10	10
21		7th St	10	10	1	1	0
20		7th St	0	10	1	10	0
30		7th St	10	0	10	0	0
30		8th St	10	10	0	10	0
20		8th St	10	10	1	0	0
20		8th St	0	10	10	0	0
25		8th St	10	10	0	0	0
35		9th St	0	10	5	10	0
35		A St	0	25	0	10	0
30		A St	0	10	5	10	0
30		B St	0	10	10	10	0
30		B St	0	10	10	10	0
20		B St	0	10	10	10	0
20		B St	0	0	10	5	0
20		B St	0	0	10	10	0
21		B St	0	10	0	10	0
20		Booth St	0	10	10	1	0
20		C St	0	10	5	5	0
30		C St	0	10	5	5	0
30		Chestnut	0	10	10	10	0
20		Chestnut	0	10	1	10	0
20		Chestnut	0	0	10	10	0
35		Chestnut	0	10	5	0	5

Marysville

	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
70	35	D St	10	25	0	0	0
71	35	D St	10	25	0	0	0
72	30	D St	0	25	5	0	0
73	30	D St	0	25	5	0	0
74	20	D St	10	10	0	10	0
75	20	D St	0	10	10	0	0
76	20	D St	0	0	10	10	0
77	20	D St	0	0	10	10	0
78	20	D St	0	0	10	10	0
79	20	D St	10	0	10	0	0
80	20	D St	0	10	0	10	0
81	20	D St	0	10	0	10	0
82	20	D St	0	10	0	10	0
83	25	Dwver	0	10	10	0	0
84	35	E 19th St	0	25	0	0	0
85	35	E St	10	10	5	10	0
86	25	E St	0	10	5	10	0
87	25	E St	0	10	5	10	0
88	35	Elm	0	10	10	5	0
89	35	Elm St	10	10	10	5	0
90	30	Elm St	0	10	10	10	0
91	30	Elm St	10	0	10	10	0
92	35	F St	0	25	0	10	0
93	35	F St	10	10	5	10	0
94	30	F St	0	10	10	10	0
95	30	F St	0	10	10	10	0
96	25	F St	0	10	10	10	0
97	25	F St	0	10	5	10	0
98	25	F St	0	10	5	10	0
99	21	F St	0	10	5	10	0
100	21	F St	0	10	1	10	0
101	20	F St	0	10	1	10	0
102	20	F St	0	10	5	5	0
103	20	F St	0	10	0	10	0
104	35	Freeman St	0	10	10	0	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
105	35	G St	0	25	0	10	0
106	30	G St	0	10	10	10	0
107	30	G St	0	10	10	10	0
108	26	G St	0	10	10	10	0
109	26	G St	0	25	1	0	0
110	25	G St	0	25	1	0	0
111	25	G St	0	5	10	10	0
112	25	G St	0	5	10	10	0
113	25	G St	0	5	10	10	0
114	25	G St	0	5	10	10	0
115	20	G St	0	5	10	10	0
116	20	G St	0	10	10	10	0
117	20	G St	0	10	0	10	0
118	20	G St	10	0	10	0	0
119	20	G St	10	0	10	0	0
120	20	G St	10	0	10	0	0
121	30	G St	10	10	0	0	0
122	30	H St	0	10	10	10	0
123	30	H St	10	0	10	10	0
124	30	H St	0	10	10	10	0
125	30	H St	0	10	10	10	0
126	30	H St	0	10	10	10	0
127	30	H St	0	10	10	10	0
128	30	H St	0	10	10	10	0
129	30	H St	0	10	10	10	0
130	30	H St	0	10	10	10	0
131	30	H St	0	10	10	10	0
132	30	H St	0	10	10	10	0
133	30	H St	0	10	10	10	0
134	25	H St	0	10	10	10	0
135	21	H St	0	10	5	10	0
136	21	H St	0	10	1	10	0
137	21	H St	10	0	1	10	0
138	20	H St	0	10	1	10	0
139	20	H St	0	10	5	10	0

	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
140	20	H St	0	0	10	10	0
141	20	H St	10	0	0	10	0
142	20	H St	0	0	10	10	0
143	20	H St	10	0	0	10	0
144	20	H St	10	0	0	10	0
145	20	H St	10	0	0	10	0
146	20	H St	0	0	10	10	0
147	20	H St	0	0	10	10	0
148	20	H St	0	10	10	0	0
149	20	H St	0	10	10	0	0
150	20	H St	0	10	10	0	0
151	20	H St	0	10	10	0	0
152	20	H St	0	10	10	0	0
153	20	H St	0	10	0	10	0
154	30	High St	0	10	0	10	0
155	30	Houston	0	10	10	10	0
156	35	I St	10	10	5	10	0
157	35	I St	10	10	5	10	0
158	30	I St	0	10	10	10	0
159	30	I St	0	10	10	10	0
160	25	I St	10	10	10	0	0
161	25	I St	0	10	5	10	0
162	20	I St	10	10	0	5	0
163	20	I St	0	0	10	10	0
164	20	I St	0	0	10	10	0
165	20	I St	0	0	10	10	0
166	20	I St	10	0	0	10	0
167	20	I St	0	0	10	10	0
168	20	I St	10	10	0	0	0
169	20	I St	0	10	0	10	0
170	20	I St	0	10	0	10	0
171	20	I St	0	10	0	10	0
172	20	I St	0	10	10	0	0
173	20	I St	0	0	10	0	0
174	30	I St	0	10	10	10	10

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
175	30	J St	0	10	10	10	0
176	30	J St	0	10	10	10	0
177	30	Lemon	0	10	10	10	0
178	30	Lemon	0	10	10	10	0
179	30	Lemon	0	10	10	10	0
180	25	Lemon	0	10	10	10	0
181	25	Lemon	0	10	5	10	0
182	21	Lemon	0	10	5	10	0
183	20	Lemon	0	10	1	10	0
184	35	Lemon	0	10	10	0	0
185	35	Mapel	15	10	0	10	0
186	35	Mapel	0	10	5	10	0
187	35	Mapel	0	10	5	10	10
188	20	Mapel	0	10	10	10	10
189	35	Mapel	0	10	10	0	0
190	35	Orange	15	10	10	0	0
191	21	Orange	0	10	1	10	0
192	25	Orange	0	10	1	10	0
193	30	Orange St	0	10	5	10	0
194	30	Pine	0	10	10	10	0
195	30	Pine	0	10	10	10	0
196	30	Pine	0	10	10	10	0
197	30	Pine	0	10	10	10	0
198	25	Pine	0	10	10	10	0
199	25	Pine	0	10	10	10	0
200	20	Pine	0	10	5	10	0
201	20	Pine	0	10	5	10	0
202	20	Pine	0	10	0	10	0
203	30	Pine	0	10	0	10	0
204	30	Pine St	0	10	0	10	0
205	30	Pine St	0	10	10	10	0
206	25	Pine St	0	10	10	10	0
207	26	Pine St	0	10	10	10	0
208	20	Triplett Way	0	25	5	10	0
209	30	Willow	0	10	1	0	0
210	30	Yuba St	10	10	0	10	0

Minor

Number	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
1	15	11th	0	0	10	5	0
2	15	11th	0	0	5	10	0
3	11	11th	0	0	5	10	0
4	11	11th	0	0	1	10	0
5	10	11th St	0	0	1	10	0
6	10	11th St	0	0	5	5	0
7	10	11th St	0	0	0	10	0
8	10	11th St	0	0	0	10	0
9	10	11th St	0	0	0	10	0
10	10	11th St	0	0	0	10	0
11	10	11th St	0	0	0	10	0
12	10	12th	0	0	0	10	0
13	10	12th	0	0	0	10	0
14	10	12th	0	0	0	10	0
15	15	12th St	0	0	0	10	0
16	10	12th St	0	10	0	0	5
17	10	12th St	0	0	0	10	0
18	10	12th St	10	0	0	0	0
19	10	12th St	10	0	0	0	0
20	10	12th St	0	10	0	0	0
21	10	12th St	0	0	0	10	0
22	10	12th St	0	10	0	0	0
23	15	12th St	0	10	0	0	0
24	11	13th	0	10	0	0	0
25	10	13th	0	10	1	5	0
26	10	13th	0	10	0	0	0
27	10	13th	0	0	0	0	0
28	10	13th St	0	0	0	10	0
29	15	13th St	0	10	0	0	0
30	10	13th St	0	10	0	0	0
31	10	13th St	0	0	0	10	5
32	15	13th St	0	0	0	10	0
33	10	14th St	10	0	10	0	0
34	15	14th St	0	0	5	0	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
35	15	17th St	0	10	0	5	0
36	15	17th St	0	10	0	5	0
37	15	17th St	0	10	0	5	0
38	10	17th St	0	10	0	5	0
39	15	17th St	0	10	0	0	0
40	10	18th St	0	10	0	5	0
41	10	18th St	0	10	0	0	0
42	10	18th St	0	10	0	0	0
43	10	18th St	0	10	0	0	0
44	10	3rd St	0	10	0	0	0
45	15	3rd St	0	0	10	0	0
46	10	4th St	0	10	5	0	0
47	10	4th St	0	10	0	0	0
48	10	4th St	0	0	0	10	0
49	10	4th St	0	0	0	10	0
50	15	4th St	0	10	0	0	0
51	10	5th St	0	10	5	0	0
52	10	5th St	0	10	0	0	0
53	10	5th St	0	10	0	0	0
54	10	5th St	0	10	0	0	0
55	10	5th St	0	10	0	0	0
56	10	5th St	0	0	0	10	0
57	10	5th St	0	0	10	0	0
58	10	5th St	0	10	0	0	0
59	10	6th	0	0	10	0	0
60	10	6th	0	0	0	0	0
61	10	6th	0	10	0	10	0
62	10	6th	0	0	0	0	0
63	10	6th	0	10	0	10	0
64	11	6th	0	10	0	0	0
65	15	6th St	0	10	0	0	0
66	15	7th St	0	10	1	0	0
67	11	7th St	10	10	5	0	0
68	11	7th St	0	0	5	0	0
69	11	7th St	10	0	1	10	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
70	11	7th St	10	0	1	0	0
71	10	7th St	10	0	1	0	0
72	10	7th St	0	10	0	0	0
73	10	7th St	0	10	0	0	0
74	10	7th St	0	10	0	0	0
75	10	7th St	0	0	10	0	0
76	10	7th St	0	0	10	0	0
77	10	7th St	0	0	10	0	0
78	15	7th St	0	0	10	0	0
79	10	8th St	0	10	0	0	0
80	11	8th St	0	0	10	5	0
81	11	8th St	0	10	1	0	0
82	10	8th St	10	0	1	0	0
83	10	8th St	10	0	0	0	0
84	11	8th St	0	10	0	0	0
85	11	9th St	0	10	1	0	0
86	11	A St	0	0	1	10	0
87	11	Aldridge	0	10	1	0	0
88	10	Aldridge	0	10	1	0	0
89	10	Aldridge	0	10	1	0	0
90	10	Attem	0	10	0	0	0
91	11	B St	0	0	0	0	0
92	10	Booth St	0	10	1	10	0
93	10	Boulton	0	10	0	0	0
94	10	Bryden	0	10	0	0	0
95	10	Bubb St	0	10	0	0	0
96	15	Bubb St	0	10	0	0	0
97	11	C St	0	5	5	5	0
98	11	C St	0	10	0	1	0
99	11	C St	0	10	1	0	0
100	11	C St	0	0	1	10	0
101	10	C St	0	0	1	10	0
102	10	C St	0	10	0	0	0
103	10	C St	0	10	0	0	0
104	10	C St	0	10	0	0	0

Marysville

	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
105	10	C St	0	10	0	0	0
106	10	C St	0	10	0	0	0
107	10	C St	0	0	5	5	0
108	10	C St	0	10	0	0	0
109	10	C St	0	10	0	0	0
110	10	C St	0	10	0	0	0
111	10	C St	0	10	0	0	0
112	10	C St	0	10	0	0	0
113	10	C St	0	10	0	0	0
114	10	C St	0	10	0	0	0
115	10	C St	0	0	10	0	0
116	10	C St	0	0	0	10	0
117	10	C St	0	0	0	0	0
118	10	C St	0	10	0	10	0
119	10	C St	0	0	0	0	0
120	10	C St	0	10	0	0	0
121	16	Chestnut	0	0	0	0	0
122	15	Covillard St	0	10	5	1	0
123	15	Covillard St	0	5	10	0	0
124	10	Covillard St	0	10	5	0	0
125	10	Covillard St	0	5	5	0	0
126	10	Covillard St	0	5	5	0	0
127	15	Covillard St	0	5	5	0	0
128	15	D St	0	0	5	0	0
129	15	D St	0	10	5	10	0
130	15	D St	0	10	0	0	0
131	10	D St	0	10	0	5	0
132	10	D St	0	10	0	5	0
133	10	D St	0	0	0	0	0
134	10	D St	0	0	10	0	0
135	10	D St	0	0	10	0	0
136	10	D St	0	0	10	0	0
137	10	D St	0	0	10	0	0
138	10	D St	0	0	0	10	0
139	10	D St	0	0	0	10	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
140	10	D St	0	0	0	10	0
141	15	Divver	0	0	10	0	0
142	10	E St	0	10	5	0	0
143	10	E St	0	10	0	0	0
144	15	E St	0	0	10	0	0
145	11	E. 13th St	0	10	5	0	0
146	10	E. 15th St	0	10	1	0	0
147	11	E. 15th St	0	10	0	0	0
148	11	E. 17th St	0	10	1	0	0
149	11	E. 22nd St	0	10	1	0	0
150	15	Edwards	0	10	1	0	0
151	15	Elm	0	10	0	5	0
152	15	Elm	0	10	5	0	0
153	15	Elm	0	10	5	0	0
154	11	Elm	0	10	5	0	0
155	11	Elm	0	10	1	0	0
156	15	Elm	0	0	1	10	0
157	15	F St	0	0	5	10	0
158	11	F St	0	10	5	0	0
159	10	F St	0	0	1	10	0
160	10	F St	0	0	0	10	0
161	10	F St	0	0	0	10	0
162	10	F St	0	0	0	10	0
163	10	F St	0	0	0	10	0
164	10	F St	0	10	0	0	0
165	10	F St	0	10	0	0	0
166	10	F St	0	10	0	0	0
167	10	F St	0	10	0	0	0
168	10	F St	0	10	0	0	0
169	10	F St	0	10	0	0	0
170	10	F St	0	10	0	0	0
171	10	F St	0	10	0	0	0
172	10	F St	0	10	0	0	0
173	10	F St	0	10	0	0	0
174	10	F St	0	10	0	0	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
175	11	F St	0	10	0	0	0
176	10	Foast	0	10	1	0	0
177	10	Freeman St	0	10	0	0	0
178	11	G St	0	0	5	10	0
179	11	G St	0	10	1	0	0
180	11	G St	0	10	1	0	0
181	10	G St	0	10	1	0	0
182	10	G St	0	0	0	10	0
183	10	G St	0	10	0	0	0
184	10	G St	0	10	0	0	0
185	15	G St	0	0	0	0	0
186	10	Greeley	0	10	5	10	0
187	10	H	0	0	0	10	0
188	11	H	0	0	0	10	0
189	11	H	0	10	1	0	0
190	11	H	0	10	1	0	0
191	11	H	0	10	1	0	0
192	11	H	0	10	1	0	0
193	10	H	0	10	1	0	0
194	15	H	0	0	0	10	0
195	15	H St	0	0	5	10	0
196	11	H St	15	0	0	0	0
197	11	H St	0	0	1	10	0
198	11	H St	0	10	1	0	0
199	10	H St	0	0	1	10	0
200	10	H St	0	0	10	0	0
201	10	H St	0	10	0	0	0
202	10	H St	0	0	10	0	0
203	10	H St	0	10	0	0	0
204	10	H St	0	0	10	0	0
205	10	H St	0	0	0	10	0
206	10	H St	0	0	0	10	0
207	10	H St	0	0	0	10	0
208	10	H St	0	0	0	10	0
209	10	H St	0	10	0	0	0

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	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING	STUCCO	WINDOWS	ELECTRICAL
210	10	H St	0	0	0	10	0	0
211	10	H St	0	0	10	0	0	0
212	10	H St	0	0	10	0	0	0
213	10	H St	0	0	0	10	0	0
214	10	H St	0	0	0	10	0	0
215	10	H St	0	0	0	10	0	0
216	10	H St	0	0	0	10	0	0
217	10	H St	0	10	0	0	0	0
218	10	H St	0	10	0	0	0	0
219	10	H St	0	10	0	0	0	0
220	10	H St	0	10	0	0	0	0
221	10	H St	0	10	0	0	0	0
222	10	H St	0	10	0	0	0	0
223	10	H St	0	10	0	0	0	0
224	10	H St	0	10	0	0	0	0
225	10	H St	0	10	0	0	0	0
226	10	H St	0	10	0	0	0	0
227	10	H St	0	0	10	0	0	0
228	15	H St	0	10	0	0	0	0
229	15	High St	0	10	5	0	0	0
230	10	High St	0	10	5	0	0	0
231	15	Houston	0	10	0	0	0	0
232	11	I St	0	0	5	10	0	0
233	11	I St	0	0	1	10	0	0
234	11	I St	0	10	1	0	0	0
235	11	I St	0	10	1	0	0	0
236	11	I St	0	10	1	0	0	0
237	11	I St	0	10	1	0	0	0
238	11	I St	0	10	1	0	0	0
239	11	I St	0	10	1	0	0	0
240	11	I St	0	10	1	0	0	0
241	10	I St	0	10	1	0	0	0
242	10	I St	0	0	0	10	0	0
243	10	I St	0	0	0	10	0	0
244	10	I St	0	10	0	0	0	0

MERCY HOUSING CALIFORNIA

As of July 1, 2000, Mercy Housing California (MHC) was formed as a merger of two non-profit organizations, Rural California Housing Corporation and Mercy Charities Housing Corporation. Both organizations have provided housing services throughout California. The mission of MHC is to create and strengthen healthy communities through the provision of quality, affordable, service-enriched housing for individuals and families who are economically poor.

MHC's success is measured by its ability to work throughout California to expand the supply of affordable housing and improve the quality of life in low-income neighborhoods. MHC hires dedicated and qualified staff, provides training opportunities to enhance staff skills, and creates a work environment that is both challenging and rewarding.

Through Rural California Housing Corporation (RCHC), MHC has provided housing and community development services in the 14 county area surrounding Sacramento for over thirty (30) years. As an organization, MHC operates five programs: housing rehabilitation and community development, single family housing, rental housing development, rental housing operations.

- ◆ The **Housing Rehabilitation** program works with local governments to revitalize deteriorating neighborhoods; preserve the existing supply of affordable housing and eliminate health and safety problems in housing occupied by low income people. MHC currently implements programs funded by redevelopment tax increment funds, Community Development Block Grant (CDBG), Home Investment Partnership (Home). The staff has also been involved in first time homebuyer programs designed to increase the rate of Homeownership in low-income neighborhoods.
- ◆ **Community Development** staff assists with smaller communities in the service area to resolve water and wastewater problems. It works with local governments to plan for the renovation of historic properties and develops resources for new economic development ventures. This staff has helped develop other community infrastructure, including Head Start facilities, senior centers, and teen centers. Additionally, this staff has assisted local jurisdictions apply for and utilize Planning and Technical Assistance funds from the CDBG allocation to conduct housing conditions survey, income surveys, and other special projects.
- ◆ **Single Family Housing**, the oldest of the MHC's programs, organizes 8-12 low-income families to work cooperatively to build their own homes. MHC staff develops land, arranges affordable financing, packages participant loan applications and manages the construction process. Over the full history more than 2,300 families have completed self-help homes in the MHC program.
- ◆ **Rental Housing Development**, the multi-family program develops and rehabilitates rental housing. The staff identifies development opportunities, organizes and manages the development team, secures construction and permanent financing and oversees the construction process. The staff has developed more than 3,600 units of rental housing which currently serves over 10,000 people.
- ◆ **Rental Housing Operations** manages rental properties, ensures compliance with funding requirements, oversees capital improvements and coordinates programs, which respond to the social service and employment needs of residents.



NILDA VALMORES
Community Development Director (Associate Regional)

PROFESSIONAL EXPERIENCE

Mercy Housing California (formerly RCHC) , West Sacramento, CA **1999 to present**
DIRECTOR, COMMUNITY DEVELOPMENT. (Associate Regional) Supervises staff of nine. Manages budget of more than \$650,000. Oversees contracts to counties and cities providing housing rehabilitation, community infrastructure and economic development assistance.

Community Resource Project, Inc., Sacramento, CA **1997 to 1999**
DEVELOPMENT DIRECTOR. Initiated multi-family and single family resource programs. Developed partnerships with different organizations, generating \$200,000 in additional revenue. Submitted successfully funded grant for housing rehabilitation program. Supervised training programs. Coordinated staff development activities.

California School Boards Association, West Sacramento, CA **1994 to 1997**
PROJECT COORDINATOR. Developed strategy for a \$500,000+ three year national demonstration project called, "Integrating Vocational and Academic Learning: The Essential Policymaking Role of School Boards." Secured additional \$80,000 from state and foundation. Oversaw the creation of training and promotional materials. Conducted workshops at state and national conferences.

California Community Colleges Foundation, Sacramento, CA **1992 to 1994**
PROGRAM SPECIALIST, INDEPENDENT LIVING PROGRAM. Assisted in the administration of the Independent Living Program at 46 community colleges. Reviewed grant applications for \$1 million in available program funds. Refined program review process and conducted program reviews. Developed program materials and implemented special projects and events. Served as staff to state advisory board.

Children's Research Institute of California, Sacramento, CA **1990 to 1992**
PROJECT MANAGER, FOSTER CARE. Evaluated 18 counties regarding the implementation of their health and education passport system for children in foster care. Wrote survey report and issue paper. Provided technical assistance to counties. Wrote foster care grants which raised more than \$300,000. Presented testimony regarding foster care issues.

Holy Cross Elementary School, West Sacramento, CA **1987 to 1990**
TEACHER. Primarily instructed 8th graders in basic subjects and facilitated preparation for high school. Coordinated special events. Advised Student Council.

EDUCATION

Harvard University, Cambridge, MA
Master of Public Administration, John F. Kennedy School of Government
Loyola Marymount University, Los Angeles, CA
B.A., Cum Laude, Political Science Major; Business Minor

PERRY PASQUALE
Rehabilitation Inspector

PROFESSIONAL EXPERIENCE

Mercy Housing California, West Sacramento, CA **2000 to Present**
REHABILITATION INSPECTOR. Inspecting residential structures to identify health and safety violation. Prepare work write-ups, including estimating costs. Obtain homeowner approval and local building department approval of the items listed on the work write-up. Soliciting bids from contractors, conducting pre-construction conferences. Reviewing bids and advise homeowners/ residents in selection of contractor. Supervise contract signing and insure understanding of all parties. Inspect contractor work during construction and supervise self-help work performed by the homeowner. Produce and process required change orders and process and monitor disbursements to contractors. Advise homeowners on maintenance routine. Closing out job with contractors and homeowners/residents.

Pasquale And Pasquale Construction, Yuba City, CA **1992 to Present**
Owner. Specializing in remodels of historical buildings, skilled in all trades of the construction field.

Titan Truss Inc., Yuba City, CA **1990 to 1993**
Production Manager. In charge of all aspects of building trusses, scheduling and delivery of trusses, trained in quality control, safety control officer. Responsible for hiring and dismissing of all personnel. Implemented training courses for new personnel.

Titan Truss Inc., Yuba City, CA **1989 to 1990**
Outside Salesman. Sold garage doors, windows, insulation, water wells, pumps, and roof trusses

Titan Truss Inc., Yuba City, CA **1975 to 1989**
Shop Foreman. In charge of all work crews, opened and closed shop, loaded and unloaded trucks, distribution of all work orders, responsible for all time cards

EDUCATION

Certified in Construction estimating
Certified in construction management
Certified in safety control methods and management
Licensed Building contractor
Yuba City High School, Yuba City, CA



CHRISTINA HERNANDEZ
Project Assistant

PROFESSIONAL EXPERIENCE

Mercy Housing California, West Sacramento, CA **2001 to Present**
ADMINISTRATIVE PROJECT ASSISTANT. Develop, manage and maintain office and department record systems. Provide administrative support to all Community Development department staff. Develop project billings and status reports and assist in project development and tracking. Reconcile client accounts. Assist the department staff in preparing funding proposals, applications and reports. Prepare monthly, quarterly and annual reports. Assist with and attend official MHC meetings, workshops, groundbreakings and open house ceremonies and other official activities.

Mercy Housing California, West Sacramento, CA **2001 to 2001**
RECEPTIONIST. Completed projects for staff. Managed telephone system. Ordered supplies. Assisted with reports and special projects.

Rural Community Assistance Corporation, West Sacramento **2000 to 2001**
INTERN Served on voting committee for grant and loan proposals. Reviewed grant and loan proposals. Prepared presentations. Reviewed budgets for proposals. Translated documents. Assisted with site visits for funded projects. Represented RCAC at various meetings.

UCDavis, Davis **1998 to 2000**
DIRECTOR, Pathfinder, k-12 student Outreach Advocacy
Hired staff. Coordinated payroll. Supervised five employees. Supervised multiple projects in eight different school districts. Served as liaison between the University, Program, and local schools. Managed \$14,000 budget. Prepared proposals and monthly reports.

EDUCATION / SKILLS

UC Davis, Chicano Studies emphasis - community and social services.
Minor: Community and Regional Development
Bilingual

JESSICA HARTMAN
Intern

PROFESSIONAL EXPERIENCE

Mercy Housing California, West Sacramento, CA **2002 to Present**
DEPARTMENT OF COMMUNITY DEVELOPMENT INTERN. Survey data collection and preparation of Housing Condition Survey distributed to city officials. Individual application, and city/county grant, closure responsibilities. Contribute help with quarterly financial reporting. Assist with city/county rehabilitation application filing, in addition to general office tasks.

Rosita's Cocina, Davis, CA **2002**
WAITRESS. Work at family-owned restaurant, Rosita's Cocina in Davis. Must often communicate with staff and customers in Spanish.

University of Michigan, Davis, CA **2002**
FIELD WORK RESEARCH ASSISTANT. Took measurements, recorded data, and harvested seeds for lab work at the Davis site. Project sponsored by the National Science Federation.

Alisal Guest Ranch and Resort, Santa Ynez Valley, CA **2000**
CASHIER/WAITRESS. Afternoon restaurant responsibilities with elite clientele.

COMMUNITY INVOLMENT

Hogar de Cristo, Santiago, Chile **2001**
VOLUNTEER. Helped with a children's center in one of the poorest districts in Santiago. Supported full-time staff with center needs and events.

Habit for Humanity, Manila, Philippines **1998**
VOLUNTEER. Joined with a poor community in Manila for construction assistance with their home building project. Coordinated community events.

National Charity League, Santa Ynez Valley, CA **1995 to 1998**
MEMBER. Provided and assisted with local community service activities. Attended organizational meetings and events.

EDUCATION/SKILLS

UC Davis, Environmental Planning & Policy Major with Community Development emphasis.
Solid Spanish proficiency, both oral and written abilities.

Marysville

	TOTAL POINTS	ADDRESS	FOUNDATION	ROOF	SIDING/STUCCO	WINDOWS	ELECTRICAL
245	10	I St	0	0	0	10	0
246	10	I St	0	5	5	0	0
247	10	I St	0	0	0	10	0
248	10	I St	0	10	0	0	0
249	10	I St	0	10	0	0	0
250	10	I St	0	10	0	0	0
251	10	I St	0	10	0	0	0
252	10	I St	0	10	0	0	0
253	10	I St	0	10	0	0	0
254	15	I St	0	10	0	0	0
255	15	J St	0	0	5	10	0
256	15	J St	0	0	5	10	0
257	10	J St	0	0	5	10	0
258	10	J St	0	0	0	10	0
259	10	J St	0	0	0	10	0
260	10	J St	0	0	0	10	0
261	10	J St	0	0	10	0	0
262	10	J St	0	0	10	0	0
263	10	Jacobs St	0	10	0	0	0
264	10	Jacobs St	0	10	0	0	0
265	10	Jacobs St	0	10	0	0	0
266	10	Lemon	0	0	10	0	0
267	10	Oak	0	0	10	0	0
268	15	Orange	0	10	0	0	0
269	11	Pine	0	0	5	10	0
270	11	Pine	0	0	11	0	0
271	11	Pine	0	0	11	0	0
272	11	Pine	0	10	1	0	0
273	10	Pine	0	10	1	0	0
274	10	Pine St	0	10	0	0	0
275	11	Pine St	0	0	0	10	0
276	10	Rideout Way	0	10	1	0	0
277	10	Rideout Way	0	10	0	0	0
278	10	Rideout Way	0	10	0	0	0
279	10	Sampson	0	0	10	0	0
280	10	Triplett Way	0	10	0	0	0
281	15	Val Dr	0	10	0	0	0
282	10	Willow Rd	0	10	5	0	0
283	0	Willow Rd	0	0	0	10	0